



165 Coach Road Estate,, Washington, NE37 2EP

Offers Over £135,000

Nestled in the highly sought-after Coach Road Estate in Usworth, Washington, this spacious semi-detached house presents an excellent opportunity for families and individuals alike. With three well-proportioned bedrooms, this property offers ample space for comfortable living. Upon entering, you are greeted by a welcoming entrance hallway that features a staircase leading to the first floor. The lounge and dining room boast dual aspect windows, allowing natural light to flood the space, creating a warm and inviting atmosphere perfect for both relaxation and entertaining. The kitchen is equipped with an integrated oven and provides convenient access to a side storage area, enhancing the practicality of the home. The first floor landing leads to three good-sized bedrooms, ensuring that everyone has their own personal space. Additionally, the property includes a bathroom and a separate w/c, catering to the needs of a busy household. Outside, the gardens to both the front and rear are laid to lawn, offering a delightful outdoor space for children to play or for hosting summer gatherings. This property is not only spacious but also situated in a popular location, making it an ideal choice for those looking to settle in a vibrant community. Early viewing is highly recommended to avoid disappointment. Don't miss your chance to make this lovely house your new home.

ENTRANCE HALLWAY

KITCHEN

9'10" x 9'1" (3.02m x 2.79m)



LOUNGE/DINING ROOM

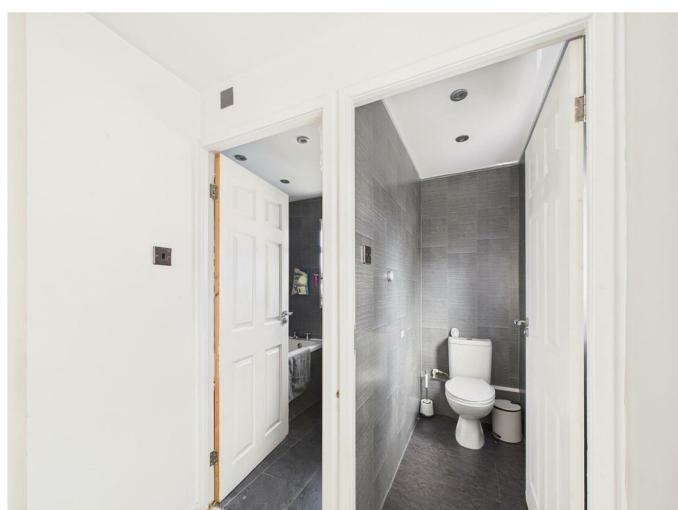
22'6" x 9'0" extd to 12'4" (6.86m x 2.76m extd to 3.77m)



FIRST FLOOR LANDING



SEPARATE W/C



BATHROOM

5'10" x 5'4" (1.80m x 1.63m)

BEDROOM ONE

11'7" x 10'2" (3.54m x 3.11m)



BEDROOM TWO

10'9" x 10'7" (3.29m x 3.25m)

BEDROOM THREE

9'4" x 8'6" (2.86m x 2.60m)



EXTERNAL



Property disclaimer

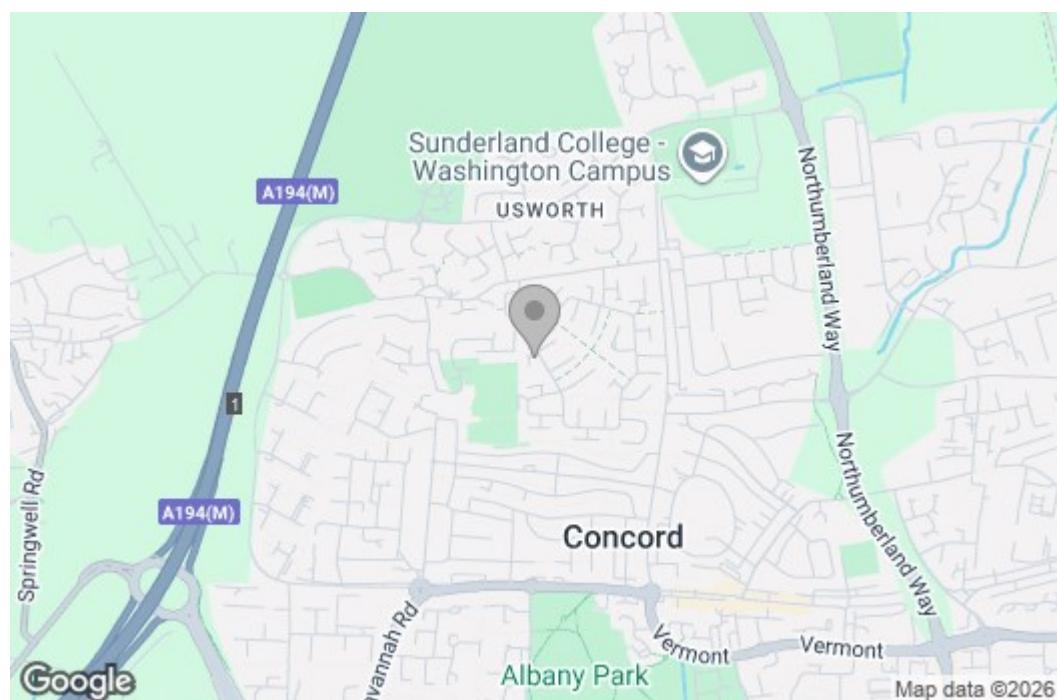
IMPORTANT NOTE TO PURCHASERS: We endeavour to make our sales particulars accurate and reliable, however, they do not constitute or form part of an

offer or any contract and none is to be relied upon as statements of representation or fact. The services, systems and appliances listed in this specification have not been tested by us and no guarantee as to their operating ability or efficiency is given. All measurements have been taken as a guide to prospective buyers only, and are not precise. Floor plans where included are not to scale and accuracy is not guaranteed. If you require clarification or further information on any points, please contact us, especially if you are travelling some distance to view. Fixtures and fittings other than those mentioned are to be agreed with the seller. We cannot also confirm at this stage of marketing the tenure of this house.

Floor Plan



Area Map



Energy Efficiency Graph

Energy Efficiency Rating		Current	Potential
Very energy efficient - lower running costs			
(92 plus) A			82
(81-91) B			61
(69-80) C			
(55-68) D			
(39-54) E			
(21-38) F			
(1-20) G			
Not energy efficient - higher running costs			
England & Wales	EU Directive 2002/91/EC		

Environmental Impact (CO ₂) Rating		Current	Potential
Very environmentally friendly - lower CO ₂ emissions			
(92 plus) A			
(81-91) B			
(69-80) C			
(55-68) D			
(39-54) E			
(21-38) F			
(1-20) G			
Not environmentally friendly - higher CO ₂ emissions			
England & Wales	EU Directive 2002/91/EC		

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